



**ADDENDUM NO. 1
TO SPECIFICATIONS AND PLANS FOR THE
VILLAGE OF GROSSE POINTE SHORES, A MICHIGAN CITY
COOK ROAD PUMP STATION WATERPROOFING AND WEIR MODIFICATIONS**

ISSUED: July 14, 2026

HRC Job No. 20250315

This Addendum is issued prior to receipt of bids to provide for certain changes and clarifications to the Specifications and/or the Drawings, as herein specified, and is hereby made a part of the Contract Documents and shall be taken into consideration in preparing the bids. All other conditions remain the same. **The Bidder shall acknowledge the receipt of this Addendum by writing in the requested Addendum information in the Addenda section on the Bid Form in the Proposal Specification Section 00300.** Failure to acknowledge the Addenda Section of the Bid Form in the submission of the bid may be justification for the bid being rejected as non-responsive.

The following lists the extent of this Addendum No. 1. Descriptions of the changes or clarifications are given within the heading.

PRE-BID MEETING MINUTES: Attached with Addendum No. 1 herein.

SPECIFICATION MANUAL CHANGES:

1. SECTION 00300 – PROPOSAL (**ISSUED**)
 - a. Replace this Specification entirely.
2. SECTION 01950 – SEQUENCE OF CONSTRUCTION AND SPECIAL PROJECT REQUIREMENTS (**NOT ISSUED**)
 - a. Replace Paragraph 3.4.A with the following: “Relocating the level sensor must occur within a single work day, complete with recalibration and testing. Constructing the proposed riser is not included in this single work day requirement; however, the riser shall be built complete prior to relocating the level sensor.”

DRAWING CHANGES: For all drawings, see bubbled changes on drawing.

1. DRAWING S-3 (**ISSUED**)
 - a. See revisions on drawing.

GENERAL – BIDDER QUESTIONS:

1. Do components mounted to the wall need to be removed and temporarily supported while remaining and service to complete the wall coating work in the motor room?

HRC RESPONSE: No, equipment anchored or mounted to the wall or floor which prevents access to the wall behind itself does not need to be removed to complete Interior Coating Item 6 work.

SUMMARY:

This Addendum No. 1 has been issued in order to clarify, modify, and add additional items to the original Bid Package. A copy of the amended pages of the Contract Documents noted in Addendum No. 1 herein have been posted online at <http://www.hrcengr.com/bid-info> and on Bid Net Direct (MITN) and must be utilized during the preparation of bids and incorporated into the Bid Documents.

The Bidder shall acknowledge receipt of Addendum No. 1 in the Proposal Specification Section 00300. Failure of the Bidder to include Addendum No. 1 and its attachments in their bid may result in rejection of the bid.

End of Addendum No. 1



MEETING MINUTES FOR PRE-BID MEETING
Cook Road Pump Station Waterproofing and Weir Modifications Project
Village of Grosse Pointe Shores, a Michigan City

Date: Tuesday, July 14, 2026

HRC Job No. 20250315

Time: 10:00 a.m. – 11:00 a.m.

Meeting Held: Grosse Pointe Shores Municipal Building (795 Lake Shore Road, Grosse Pointe Shores, MI 48236)

PURPOSE: Pre-Bid Meeting. Attendance was recommended for General Contractors submitting a bid on this project. See Meeting Sign-In Sheets attached with these meeting minutes.

The following items were discussed:

1. This Cook Road Pump Station Waterproofing and Weir Modifications Project (the Project) generally involves modifying the existing weir at the Cook Road Pump Station (CRPS) in the Village of Grosse Pointe Shores, a Michigan City (the City, or Owner) and completing exterior and interior concrete repairs. Interior coating work and ventilation improvements are also part of this project. The estimated cost of this project is approximately \$425,000.
2. **Bids are due next week on Thursday, July 23, 2026 at 11:30 a.m. ET – hard copy delivered to Mike Way, the Grosse Pointe Shores Public Works Director, in the Municipal Building, located at 795 Lake Shore Road, Grosse Pointe Shores, MI 48236. Electronic/email submission to Hubbell, Roth & Clark, Inc. (HRC, or the Engineer) and the Owner is not acceptable.**
3. **Per the advertisement, Bidder questions are due via email to Nathaniel Coffin with HRC, by Friday, July 17, 2026 at 5:00 p.m ET. Questions may also be submitted to Ashley Siluk with HRC with Nathaniel copied.**
4. Anticipated project Construction Schedule:
 - a. The bid opening is July 23, 2026. The City Council will meet after this date at their regular scheduled Council Meeting on Tuesday, August 18, 2026 and agree on the cost of the project before a Notice to Proceed can be issued.
 - b. The preconstruction meeting is anticipated to be held approximately 2-3 weeks after the board approves the project.
 - c. No escalation clauses in a general contractor's pricing (or a subcontractor's pricing) will be allowed. The Project's final completion date is less than a year from the date of this meeting.
 - d. Work is expected to begin within a month of the awarded bidder receiving the Notice to Proceed. The substantial completion date is March 5, 2027 and final completion is March 17, 2027.
 - e. HRC explained the expectation is that the shop drawing submittals for any long lead time items (i.e. the proposed aluminum stop logs) are provided as soon as possible such that the overall schedule may be made firm early in the Project. Any submittals related to warm/favorable weather dependent work was also recommended by HRC to be provided as soon as possible given warm weather days will be limited by the time the Project is awarded.

5. Review of Permits Required

- a. A Part 41 Permit has been obtained from Michigan's Department of Environment, Great Lakes & Energy (EGLE) for this Project. A copy of the approved permit is provided with these pre-bid meeting minutes which will be included in Addendum #1. Bidders are to note the Special Conditions included in the approved permit. These special conditions shall be met for the full duration of the Project, and the Bidder is responsible for accounting for these special conditions in their work sequencing and bid price.
- b. It is the responsibility of the Contractor to obtain any building permits necessary to complete the project, and it is the Contractor's responsibility to close out any building permits at the conclusion of the project. A mechanical and electrical permit (i.e. two (2) permits) will be required for the heat pump work. The City will waive the cost to obtain building permits from the City.

6. There are no allowances as part of this project.

7. There are no alternates being requested as part of this project

8. Regulatory Requirements Affecting the Project

- a. This Project is funded by the City. American Iron and Steel (AIS) requirements are not required, Build America, Buy America (BABA) or Buy America Act (BAA) requirements are not required, certified payrolls are not required, and Davis Bacon Wage Rates do not apply.

9. Review of Special Project Requirements and Critical Work Sequencing.

- a. Specification Section 01950 includes information regarding working within the CRPS, an active sanitary sewerage pump station. Parking and access to the site is also specified in this specification. HRC recommended the Contractor review this specification in tandem with the approved EGLE Part 41 Permit requirements.

10. Review of Contract Documents.

- a. A Bid Deposit in the amount of five percent (5%) of the amount of the bid is required for the Proposal, per the Advertisement.
- b. A Performance Bond, Labor and Material Bond, and Maintenance and Guarantee Bond will all be required as part of the signed Contract.
- c. Insurances must be provided for this project per the General Supplementary Conditions, including Builders Risk and Installation Floater.

11. Use of Premises by Owner and Contractors

- a. Staging is discussed in Specification 01950.
- b. Owner's normal allowable working hours in the Village of Grosse Pointe Shores are also included in 01950, which are 7:00 AM to 7:00 PM, Monday through Friday. Permission shall be requested from and granted by the Owner to work Saturdays. No work on Sunday or the holidays will be permitted.

12. Construction Facilities and Controls Provided by Owner.

- a. Sanitary facilities will not be supplied by the Owner. Porta johns or the like will be required for your workers. Prior to bringing sanitary facilities to the site, the Contractor shall coordinate a location with the Owner.

- b. Progress Meetings will be held at a minimum monthly and will be held onsite at a to be determined City owned location. Virtual progress meetings via Microsoft teams in lieu of onsite progress meetings will be arranged only by the direction of the Owner or Engineer.
- 13. Temporary Utilities Provided by Contractor and by Owner.
 - a. The work site cannot accommodate a construction trailer. HRC requested if this constraint poses a problem with the bidder, the bidder should submit a formal question to the Engineer.
 - b. The Owner can assist with supplying water for leak testing the proposed weir via a nearby hydrant.
- 14. Survey and Layout.
 - a. Lines and Grades; Per Section 11 of the General Conditions, principal reference lines and benchmarks will be provided by the Engineer. All proposed work is dimensional based off existing conditions; however, the Contractor may request the Engineer provide elevations for critical aspects of the work, such as the proposed weir work. It remains the Contractor's responsibility to establish elevations for above grade structures.
- 15. Security and Housekeeping Procedures.
 - a. An onsite resident project representative (RPR) from HRC will be on site part time for the duration of construction. Coordination with HRC's RPR and the Owner will be a key aspect to completing the work on this project. Aspects of the work which require the RPR's attention including coordinating final locations for penetrations, equipment siting, and material staging.
 - b. The City's noise ordinance (Chapter 10 – Environment, Article III – Noise, Section 10-61) prohibits excessive noise from construction between 8:00 AM and 6:00 PM Monday through Friday, and from 9:00 AM to 6:00 PM on Saturdays.
- 16. Responsibility for Testing.
 - a. Per Specification Section 01950, the Contractor is required to provide third party testing where applicable.
- 17. Addendum #1 will be issued and include these notes and the approved EGLE Part 41 permit. Addenda will be posted to MITN and available to download from HRC's website under Bid Info. The addendum will be emailed to all attendees at this meeting as well for convenience.
- 18. Contractor Questions.
 - a. Responses will be provided via Addendum. The deadline for bidder questions is Friday, July 17, 2026, by 5:00 PM.
 - b. Any additional questions may be emailed to HRC as noted on the Advertisement, which is ncoffin@hrcengr.com. Questions will be answered via Addendum.
- 19. Post Meeting Site Visit
 - a. Attendees visited the CRPS site after the meeting.

These minutes are intended to be a summary of those items discussed. Any corrections and/or comments should be noted to the writer within seven (7) calendar days of these minutes' distribution otherwise said minutes shall be deemed accurate.

Respectfully submitted,

HUBBELL, ROTH & CLARK, INC.



Nathaniel Coffin, P.E.
Staff Engineer

NAC/aas

Attachment: Meeting Sign-In Sheet, Approved EGLE Part 41 Permit

pc: All Present

Village of Grosse Pointe Shores; M. Way

HRC; J. VanDeCreek, J. Morreale, A. Uranga, A. Melchior, C. Crist, M. Roskelley, File



HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915

Meeting Sign-In Sheet

Project Name: Cook Road Pump Station Waterproofing and Weir Modifications
Date of Meeting: 7/14/2026
Job Number: 20250315

Purpose of Meeting: Pre-Bid Meeting

Client: Village of Grosse Pointe Shores, a Michigan City

Location of Meeting: Grosse Pointe Shores Municipal Building
795 Lake Shore Road, Grosse Pointe Shores, MI 48236

No.	Name	Agency/ Company	Phone Number	Email
1	Michael Way	Grosse Pointe Shores	313-453-3104	mway@gpshoresmi.gov
2	Nathaniel Coffin	Hubbell, Roth & Clark, Inc.	248-318-9410	ncoffin@hrcengr.com
3	Ashley Siluk	Hubbell, Roth & Clark, Inc	313-400-0441	asiluk@hrcengr.com
4	Kevin Anderson	Z Contractors	586-625-8899	kanderson@z-contractors.com
5	Tom Szabo	RAM Construction	734-464-3800	TSzabo@RAMservices.com
6	Matt Boileau	Pullman SST INC	734-318-3380	MBoileau@Pullman-services.com
7	Tyson Herman	SMITHS Waterproofing	(810)798-2371	tysonh@swcdllc.com
8	Evan Anton	BNE Services LLC	(218)345-4270	eanton@bncservices.com
9	Matt Shaeffer	Midwest Power Systems	248-770-5124	mduerstpower@hotmail.com
10	Josh Poole	JMD Building Restoration	586-504-4088	josh.poole@jmdbuildingrestoration.com
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*Please write legibly.

MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT FOR CONSTRUCTION OF WASTEWATER SYSTEMS

SITE NAME:	Grosse Pointe Shores CM
CONTACT NAME:	Michael Way
CONTACT PHONE:	3138860020
CONTACT EMAIL:	mway@gpshoresmi.gov
PROJECT COUNTY:	Wayne

PERMIT NUMBER:	P41006036 v. 1
ISSUED DATE:	June 12, 2026
ISSUED TO:	Village of Grosse Pointe Shores
PROJECT NAME:	Cook Road Pump Station Waterproofing and Weir Modifications
PROJECT LOCATION:	Grosse Pointe Shores CM

APPLICATION SUBMISSION ID: HQM-9K73-H77GF

REQUIRED NOTIFICATIONS: The permittee shall submit a Construction Startup Notification (just prior to excavation) and a Construction Completion Notification (upon project completion) using the permit schedules in MiEnviro Portal.

☒ If this box is checked, please see the SPECIAL CONDITIONS on page 2.

**ISSUED UNDER THE AUTHORITY OF THE DIRECTOR OF
THE DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE)**

Issued By:


Hala Baroudi, P.E. Environmental Engineering Specialist

Reviewed By:


Moutoshi Saha Environmental Engineer

cc: Design Engineer, Hubble, Roth, and Clark
Wayne County Health Department
SEMSD

GENERAL CONDITIONS

- a. This PERMIT only authorizes the construction, alteration, addition, or improvement of the wastewater system as described herein and is issued solely under the authority of Part 41, Sewerage Systems, of Act 451.
- b. This PERMIT expires two (2) years after the above date of issuance unless construction starts prior to the expiration date in accordance with R 299.2939(2) of the Part 41 Administrative Rules.
- c. Any portion of the herein-described proposed wastewater project constructed prior to the date of issuance is not authorized by this PERMIT and is a violation of Part 41 of Act 451.
- d. No sewer shall be placed into service unless and until the outlet sewer has been constructed, tested, and placed into service.
- e. Failure to meet any condition of this PERMIT or any requirement of Act 451 constitutes a violation of Act 451.
- f. Issuance of this PERMIT does not authorize any violation of federal, state, or local laws or regulations, nor does it obviate the need to obtain other permits or approvals from EGLE or other units of government as required by law.
- g. The applicant must provide notice of impending construction to public utilities and comply with the requirements of the Underground Facility Damage Prevention and Safety Act, PA 174 of 2013, as amended (MISS DIG).
- h. All earth-changing activities must be conducted in accordance with Part 91, Soil Erosion and Sedimentation Control, of Act 451.
- i. All construction activity, including groundwater dewatering, impacting wetlands shall be conducted in accordance with Part 303, Wetlands Protection, of Act 451.
- j. If water withdrawal, via dewatering activities, is associated with this project, authorization under Part 327, Great Lakes Preservation, of Act 451, is required for new or increased large quantity withdrawals over 100,000 gallons per day (70 gallons per minute). A Part 327 permit is required for new or increased large quantity withdrawals over 2,000,000 gallons per day.

SPECIAL CONDITIONS

1. Installation and replacement of the Cook Road Pump Station overflow weir stop logs shall be conducted only during dry weather flow conditions. For purposes of this permit, dry weather flow is defined as normal sanitary flow conditions with no measurable precipitation within the tributary service area for at least 24 hours prior to construction and no forecasted rainfall during the anticipated construction period. The permittee shall ensure that all equipment, materials, and personnel are available on-site prior to initiating removal of the existing stop logs. The duration of work affecting the overflow weir shall be minimized to the greatest extent practicable.
2. There shall be no discharge of sanitary sewage to the land, surface waters, or ground waters of the State resulting from construction activities associated with this project.
3. The permittee shall provide uninterrupted sanitary sewer service to the tributary service area during construction of this project.
4. If groundwater dewatering will be required as part of this project, please note that owners of all new or increased large quantity withdrawals (defined as having a pumping capacity of 70 or more gallons per minute) are required to register the withdrawal with EGLE prior to commencing withdrawal activity. To apply for registration, the use of the online Water Withdrawal Assessment Tool by the prospective withdrawal owner is required. For more

information, and to begin the registration process, see EGLE's website at the following link for the Water Withdrawal Assessment Tool (WWAT). <http://www.egle.state.mi.us/wwat/>.

5. The permittee shall manage the discharge of the dewatered water such that the receiving water shall contain no unnatural turbidity, color, foams, settleable solids, suspended solids, or deposits as a result of this discharge in unnatural quantities which are or may become injurious to any designated uses.
6. If dewatering activity results in an adverse impact to an adjacent property, water body, water supply well, or wetland, the permittee should consider and may be responsible to mitigate such impacts.

PROPOSED WASTEWATER PROJECT DESCRIPTION

The project consists of replacing and raising the existing weir stop logs within the weir chamber adjacent to the CRPS. The existing configuration includes deteriorated wooden stop logs installed atop a concrete weir wall. The proposed improvement involves replacement of only the wooden stop logs; the concrete weir wall will remain unchanged. The effective weir elevation will be increased by approximately 8 inches.

The replacement adjustable overflow weir will be implemented using a Hydrogate stop log system. Hydrogate components are constructed of corrosion-resistant materials suitable for submerged wastewater service. The gate frame and leaf are aluminum, with elastomeric (EPDM or equivalent) seals, and stainless steel fasteners and hardware. All materials are appropriate for long-term installation within a wastewater pump station environment.

SECTION 00300

PROPOSAL
FOR THE
COOK ROAD PUMP STATION WATERPROOFING & WEIR MODIFICATIONS
VILLAGE OF GROSSE POINTE SHORES, A MICHIGAN CITY
WAYNE COUNTY, MICHIGAN

Village of Grosse Pointe Shores, A Michigan City
795 Lake Shore Road
Grosse Pointe Shores, Michigan, 48236

Bids Due: Thursday, July 23, 2026
On or Before 11:30 am, Local Time
HRC Job No. 20250315

To Prospective Bidders:

Name of Bidder: _____

Address: _____

Date: _____ Telephone: _____ Fax: _____

The above, as Bidder, hereby declares this Bid is made in good faith without fraud or collusion with any persons bidding, and that the Drawings, Specifications, and all other information referenced in the Instructions to Bidders have been examined. Further, the Bidder is familiar with the location of the Work described in this Proposal and is fully informed as to the nature of the Work and the conditions relating to the performance of the Contract.

The Bidder acknowledges that no representations or warranties of any nature whatsoever have been received, or are relied upon from the Village of Grosse Pointe Shores, A Michigan City its agents or employees, as to any conditions to be encountered in accomplishing the Work and that the Bid is based solely upon the Bidder's own independent judgment.

The above, as Bidder, hereby certifies that the Drawings, Specifications, and other data provided by the Owner for bidding purposes have been examined. Further, the undersigned certifies that the proposed construction methods have been reviewed and found acceptable for the conditions which can be anticipated from the information provided for bidding.

The Bidder hereby affirms that the site of Work has been inspected and further declares that no charges in addition to the Individual Unit Prices shall be made on account of any job circumstances or field conditions which were present and/or ascertainable prior to the bidding. In addition, The Contractor, as such and as Bidder, shall make the determination as to existing soil conditions and shall also complete the Work under whatever conditions created by the Contractor/Bidder's sequence of construction, construction methods, or other conditions the Contractor/Bidder may create, at no additional cost to the Owner.

The above, as Bidder, confirms knowledge of the location of the proposed Cook Road Pump Station Waterproofing & Weir Modifications Project and appurtenant construction in the Village of Grosse Pointe Shores, A Michigan City, Wayne County, Michigan, and the conditions under which it shall be constructed; and also declares to have carefully examined the Drawings, Specifications, and Contract Documents which the Bidder understands and accepts as sufficient for the purpose of constructing said Cook Road Pump Station Waterproofing & Weir Modifications Project,

and appurtenant work, and agrees to contract with the Village of Grosse Pointe Shores, A Michigan City to furnish all labor, materials, tools, equipment, facilities and supervision necessary to do all the Work specified and prescribed for the Village of Grosse Pointe Shores, A Michigan City in strict accordance with the Owner's General Conditions, and with the full intent of the Drawings and Specifications, prepared by Hubbell, Roth & Clark, Consulting Engineers, and will accept in full payment therefore the sum of:

BASE BID

<u>Item</u>	<u>Quantity</u>	<u>Unit Price</u>	<u>Total Cost</u>
1. Mobilization (Max 5%)	@	Lump Sum	= \$ _____
2. Remove and Replace Rooftop Vents and Skylights – Item 1	@	Lump Sum	= \$ _____
3. Replace Skylights – Item 2	@	Lump Sum	= \$ _____
4. Depth: 1" to Less than 3" Concrete Surface Repair Type 3A	20 SF @	\$ _____	= \$ _____
5. Depth: 3" or Greater Concrete Surface Repair Type 3B	225 SF @	\$ _____	= \$ _____
6. Crack Injection – Weeping Item 4A	50 SF @	\$ _____	= \$ _____
7. Crack Injection – Non Weeping Item 4B	50 SF @	\$ _____	= \$ _____
8. Masonry Repairs Item 5	100 LF @	\$ _____	= \$ _____
9. Interior Coating Item 6	1900 SF @	\$ _____	= \$ _____
10. Roof Coating Item 7	450 SF @	\$ _____	= \$ _____
11. Weir Wall/Stop Log – Item 8	@	Lump Sum	= \$ _____
12. Fan Replacement	@	Lump Sum	= \$ _____
13. Minisplit Heat Pump Installation	@	Lump Sum	= \$ _____
14. Exhaust Duct Rework	@	Lump Sum	= \$ _____
15. Relocate Vega Sensor	@	Lump Sum	= \$ _____
16. All Remaining Work	@	Lump Sum	= \$ _____
Total Amount of Bid			\$ _____

ALTERNATES

Voluntary Alternates proposed by the Bidder will not be considered. The Bidder shall submit a Bid based on the information shown on the Drawings and Specifications.

The Owner reserves the right to award the Base Bid or the Base Bid minus any individual items or combination of items, depending upon the availability of funds.

The Owner, at its sole discretion, reserves the right to award to the Bidder who, in the sole determination of the Owner, will best serve the interest of the Owner. The Owner reserves the right to accept any Bid, to reject any or all Bids, to waive any and all informalities involving price, time, or changes in the Work, and to negotiate contract terms with the

successful Bidder, and the right to disregard all nonconforming, nonresponsive, unbalanced or conditional Bids. However, it is the intention of the Owner to award to the low total Bid to one Bidder. Also, the Owner reserves the right to reject the Bid of any Bidder if the Owner believes that it would not be in the best interest of the Project to make an award to that Bidder, whether because the Bid is not responsive or the Bidder is unqualified, of doubtful financial ability, or fails to meet any other pertinent standard or criteria established by the Owner.

Each Bidder agrees to waive any claim it has or may have against the Owner, the Architect/Engineer, and their respective employees, arising out of or in connection with the administration, evaluation, or recommendation of any Bid.

Each Proposal shall be accompanied by a Bid deposit in the form of a certified check, cashier's check or bid bond, executed by the Bidder and Surety Company, payable to the Village of Grosse Pointe Shores, A Michigan City, in the amount of five percent (5%) of the amount of the Proposal. See Instructions to Bidders – Bid Deposit for more information.

TAXES

The Bidder affirms that all applicable Federal, State and Local taxes of whatever character and description are included in all prices stated in this Form of Proposal.

ADDENDA

The Bidder acknowledges the following Addenda, covering revisions to the drawings or specifications and the cost, if any, of such revision has been included in the quoted Proposal:

Addendum No. _____	Dated _____
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

FEES

The Bidder shall refer to the General Conditions for allowable Fees for additional work performed, upon Owner's written authorization, by Bidder's own forces and/or for additional work, upon Owner's written authorization, by Bidder's subcontractors.

TIME OF COMPLETION

If awarded the Contract for the Cook Road Pump Station Waterproofing & Weir Modifications Project, we agree to have all work substantially completed by Friday, March 5, 2027. Substantial Completion is defined that the Facility is ready to use for its intended purpose with all utility systems fully functional.

The Bidder hereby agrees to furnish the required Bonds, Insurance Certificates, and Policies within ten (10) days after acceptance of this Proposal.

Final Completion with all clean-up and punch-list items shall be complete by Wednesday, March 17, 2027.

The execution of all work and specific constraints as described in the Contract Drawings and specifications, with particular reference to Section 01950 Sequence of Construction and Special Project Requirements, shall be strictly adhered to.

LIQUIDATED DAMAGES

Time is of the essence for completion of this project in order to have the Project ready for the Village of Grosse Pointe Shores, A Michigan City. The Bidder guarantees that the Work will be completed within the time limit stated in this Proposal before or within the time as extended as provided elsewhere in the Specifications. Inasmuch as the damage and loss to the Owner which will result from the failure of the Bidder to complete the Work within the stipulated time, will be most difficult or impossible to accurately determine, it is mutually agreed that the damages to the Owner for such delay and failure on the part of the Bidder shall be liquidated in the amount of One Thousand dollars (\$1,000.00), for each and every calendar day by which the Bidder shall fail to complete the Work or any part of the Work within the Provisions described in this Proposal, and such liquidated damages shall not be considered as a penalty.

The Owner will deduct and retain out of any money due or to become due under the conditions described here the amount of the liquidated damages, and in case those amounts are less than the amount of actual liquidated damages, the Bidder shall pay the difference upon demand of the Owner.

Liquidated damages may be assessed should stipulated completion dates fail to be met. Specifically, liquidated damages will be assessed daily beginning Saturday, March 6, 2027 until such a time that Substantial Completion is achieved and further if all work is not completed by the Final Completion Date.

BIDS TO REMAIN FIRM

The price stated in this Proposal shall be guaranteed for a period of not less than sixty (60) days from the Bid due date and if authorized to proceed within that period, the Bidder agrees to complete the work covered by the Proposal at said price.

If this Proposal is accepted by the Owner and the undersigned shall fail to Contract as aforesaid and to furnish the required surety bonds within fifteen (15) days after being notified of the acceptance of their Bid, then the undersigned shall be considered to have abandoned the Contract, and the Certified Check, Cashier's Check or Bid Bond accompanying this Proposal shall be forfeited to the Village of Grosse Pointe Shores, A Michigan City.

If the undersigned enters into the Contract in accordance with their Proposal, or if their Proposal is not accepted, then the accompanying Bid guarantee shall be returned to the undersigned.

Company Name: _____

Signature: _____ Title: _____

Address: _____

County: _____ State: _____

Telephone No.: _____ Fax No.: _____

Email Address: _____

LEGAL STATUS OF BIDDER

This Bid is submittal in the name of:

(Print) _____

The undersigned hereby designates below the business address to which all notices, directions or other communications may be served or mailed:

Street _____

City _____

State _____ Zip Code _____

The undersigned hereby declares the legal status checked below:

- ☐ INDIVIDUAL
- ☐ INDIVIDUAL DOING BUSINESS UNDER AN ASSUMED NAME
- ☐ CO-PARTNERSHIP
The Assumed Name of the Co-Partnership is registered in the County of _____, Michigan
- ☐ CORPORATION INCORPORATED UNDER THE LAWS OF THE STATE OF _____
_____. The Corporation is
- ☐ LICENSED TO DO BUSINESS IN MICHIGAN
- ☐ NOT NOW LICENSED TO DO BUSINESS IN MICHIGAN

The name, titles, and home addresses of all persons who are officers or partners in the organization are as follows:

A corporation duly organized and doing business under the laws of the State of _____

NAME AND TITLE

HOME ADDRESS

Signed and Sealed this _____ day of _____, 20__.

By (Signature)

Printed Name of Signer

Title

BID BOND

We, the undersigned, _____

As Principal, from this point forward called the Principal, and _____

A corporation duly organized under the laws of the State of _____

As surety, from this point forward called the SURETY, are held and firmly bound unto:

The Owner: Village of Grosse Pointe Shores, a Michigan City _____

in the sum of _____ Dollars (\$ _____),

For the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a Bid for _____

NOW, THEREFORE, if the OWNER shall accept the Bid of the Principal and the Principal shall enter into a Contract with the OWNER in accordance with the terms of such Bid, and give such bond or bonds as may be specified in the CONTRACT DOCUMENTS with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution of such Contract, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the OWNER the difference not to exceed the penalty hereof between the amount specified in said Bid and such larger amount for which the OWNER may in good faith contract with another party to perform the work covered by said Bid, then the obligation of the Principal shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this _____ day of _____, 20____

(Witness)

(Principal)

(Seal)

(Title)

(Witness)

(Surety)

(Title)

END OF SECTION

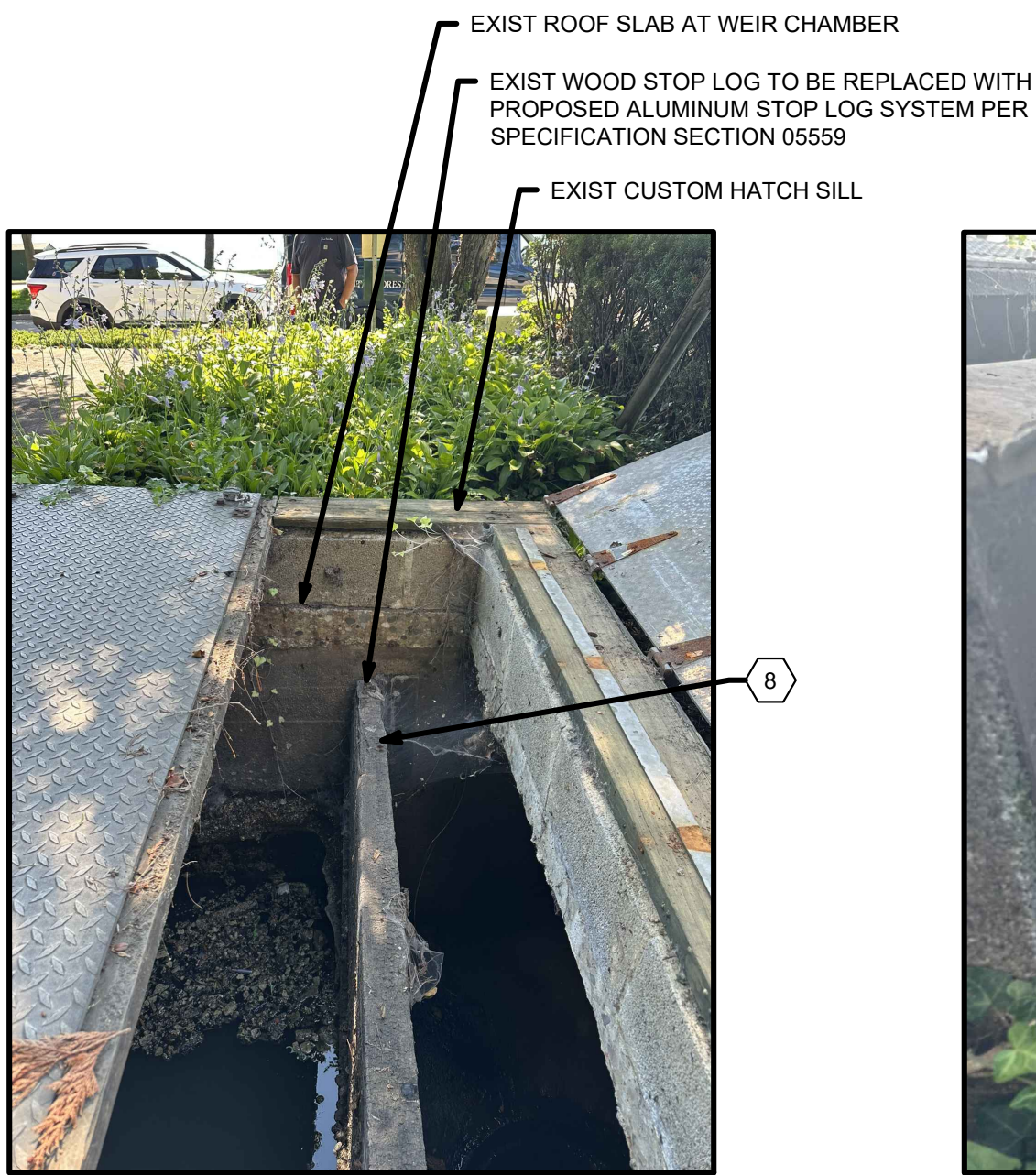
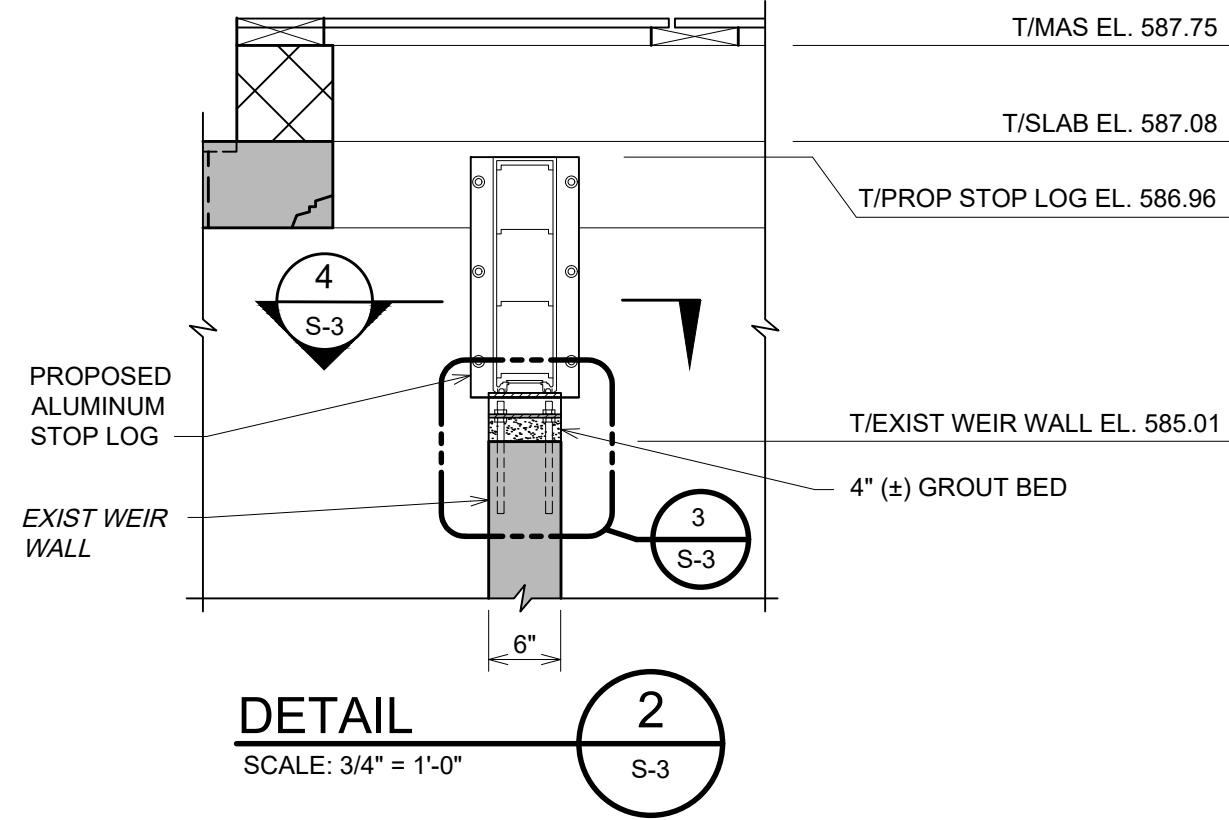
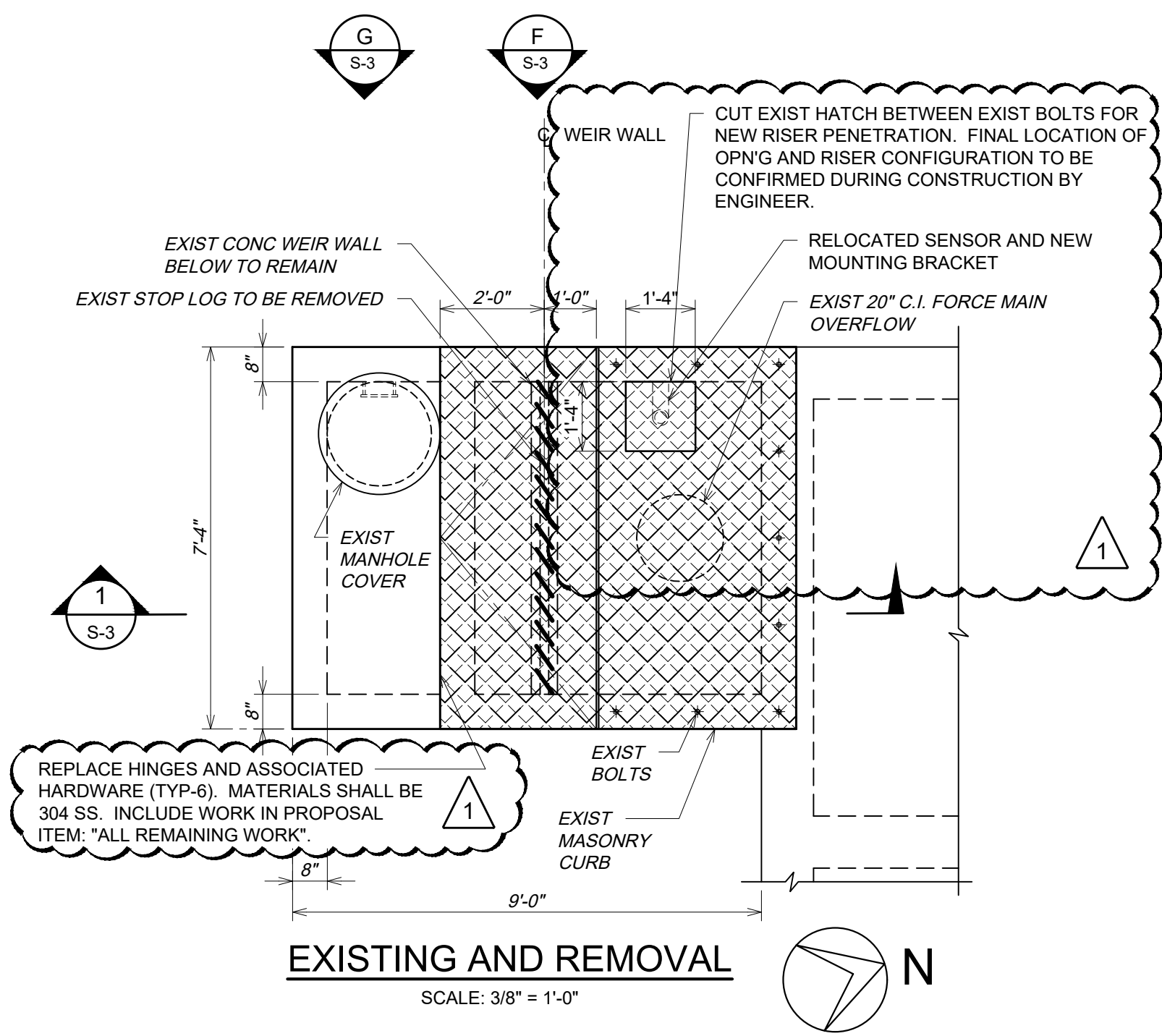
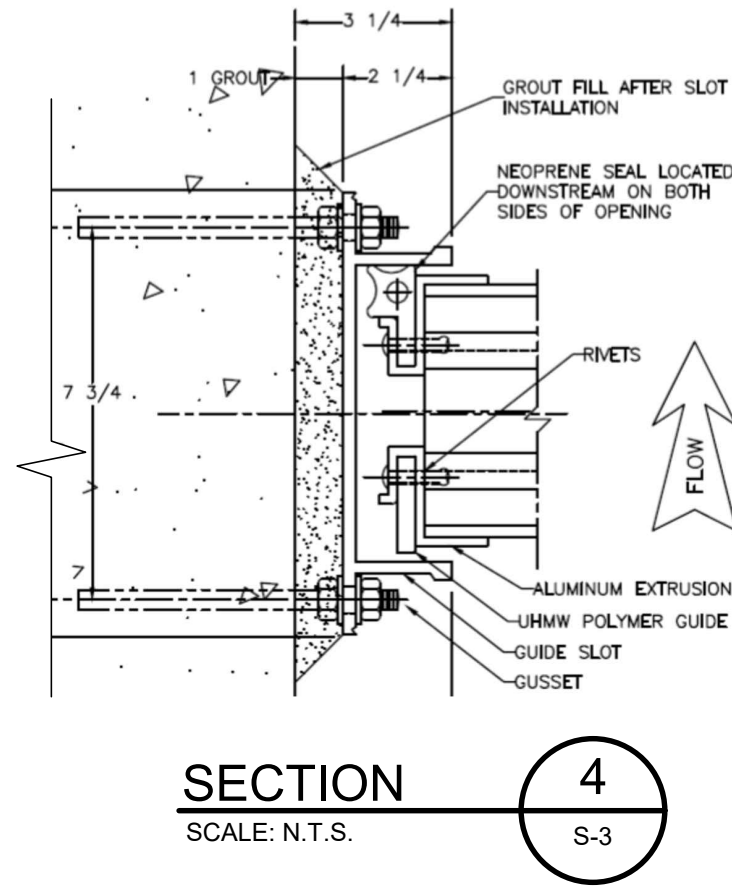
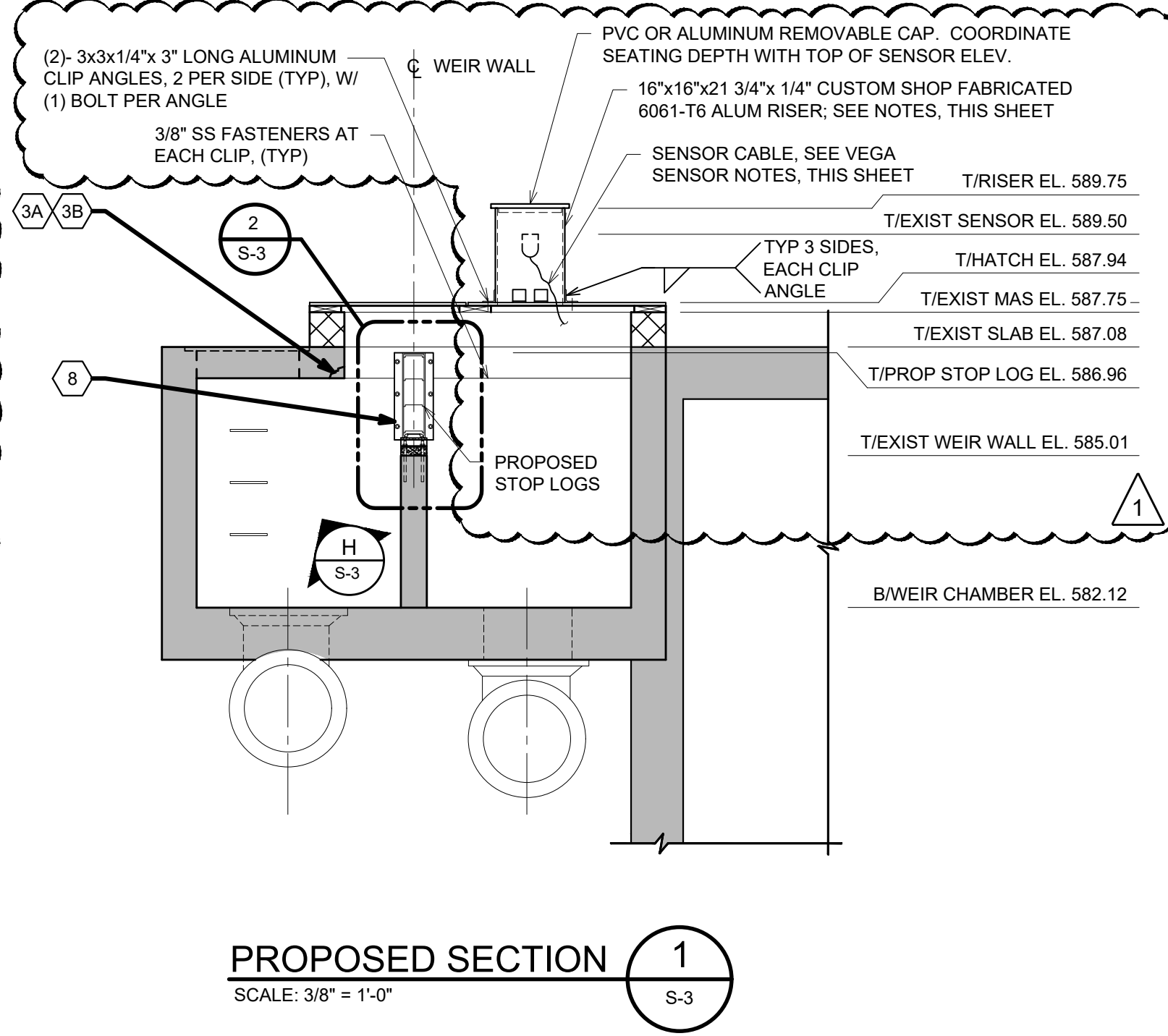
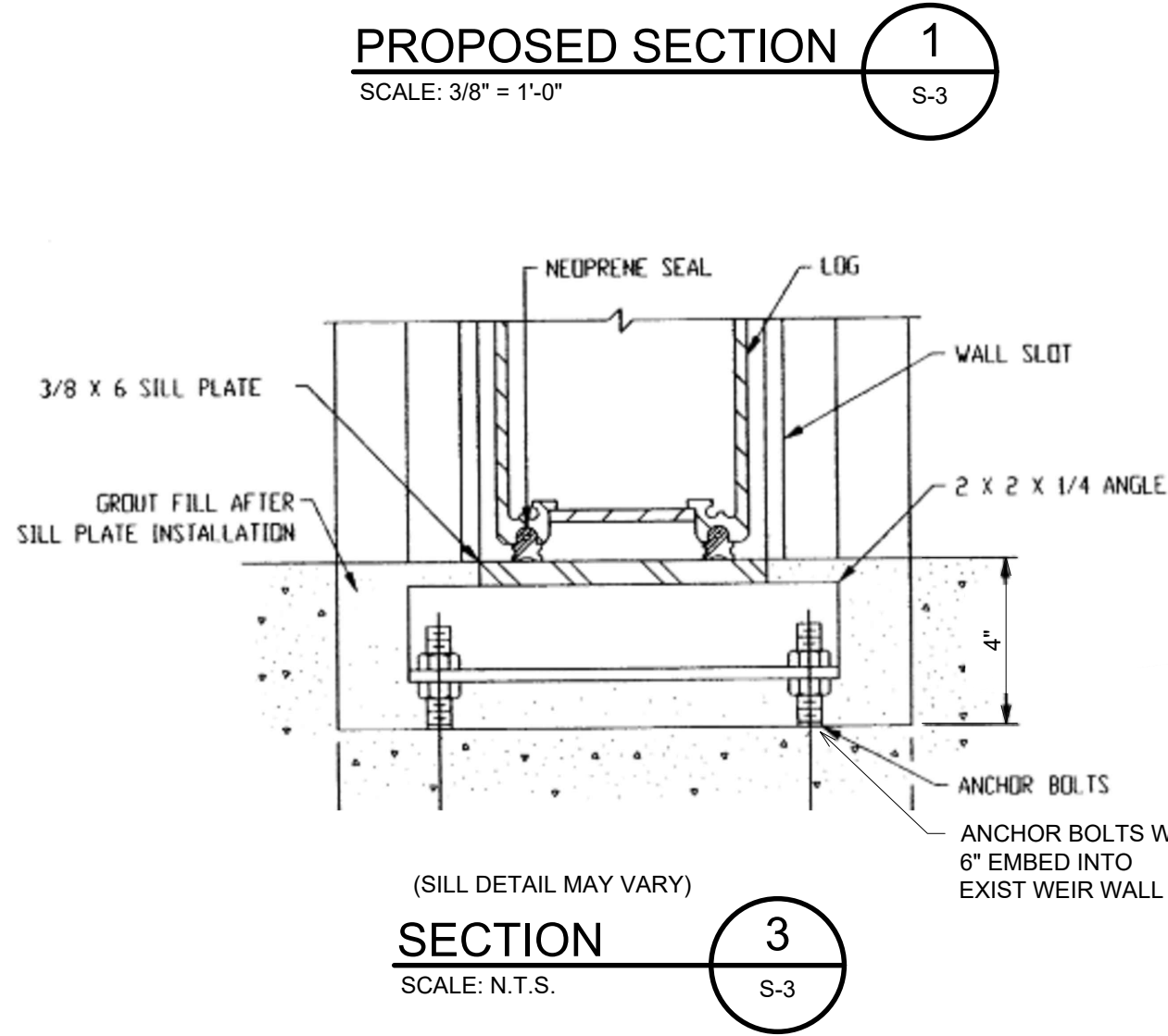


PHOTO F
S-3



PHOTO G
S-3



- VEGA SENSOR NOTES:**
- CONTRACTOR TO RELOCATE VEGA SENSOR WITHIN THE WEIR CHAMBER INTO RISER, MOUNTED OFF WEST SIDE OF RISER. SEE PROPOSED SECTION 1 THIS SHEET.
 - MOUNT SENSOR IN CENTER OF PROPOSED 16"x16" ALUMINUM RISER USING NEW BRACKET AND HARDWARE. OBTAIN NEW BRACKET AND HARDWARE FROM VEGA.
 - BOTTOM OF SENSOR ELEVATION SHALL BE 589.00 FEET.
 - RUN CABLE INTO RISER. SLACK IN CABLE MUST BE ENOUGH TO ALLOW HATCH TO OPEN, AND AFFIXED OUT OF SENSOR PATH BY MOUNTING CABLE TO SIDE OF RISER AND UNDERSIDE OF HATCH.
- 1



PHOTO H
S-3

REPAIR MISCELLANEOUS QUANTITIES

PROPOSED WORK ITEM DESCRIPTION		UNIT	QUANTITY
8	WEIR WALL / STOP LOG - ITEM 8	LSUM	-

NOTES:

- THE QUANTITIES FOR THE WORK ITEM DESCRIPTIONS ABOVE ARE APPROXIMATE. CONTRACTOR SHALL BE PAID IN FULL FOR ACTUAL AUTHORIZED AS-CONSTRUCTED AMOUNTS USED ABOVE/BELOW BASE QUANTITY SHOWN. CONTRACTOR TO COMPLETE PRICING SHEET ON THE BID FORM IN SPEC SECTION 00300.
- ANY WORK NOT SPECIFICALLY GIVEN A UNIT QUANTITY DESCRIPTION SHOWN ON THESE SHEETS SHALL BE INCLUDED IN THE LUMP SUM TOTAL PRICE FOR THE PROJECT ON THE BID FORM.

PROJECT DESCRIPTION:

THE COOK ROAD PUMP STATION IN THE VILLAGE OF GROSSE POINTE SHORES IS IN NEED OF REPAIR. OVER ALL PROJECT CONSISTS OF LOCALIZED CONCRETE AND MASONRY REPAIRS, REPLACING SKYLIGHTS, RE-COATING THE ROOF SLAB AND RE-COATING THE INTERIOR WALLS AND CEILING OF THE DRY WELL WALLS. THESE REPAIRS ARE INTENDED TO ADDRESS THE INTERIOR WATER DAMAGE AS A RESULT OF WATER LEAKS. ADDITIONALLY, WORK WILL OCCUR WITHIN THE WEIR PORTION OF THE PUMP STATION. NEW STOP LOGS ARE TO BE INSTALLED ATOP OF THE EXISTING WEIR WALL.

ALUMINUM NOTES:

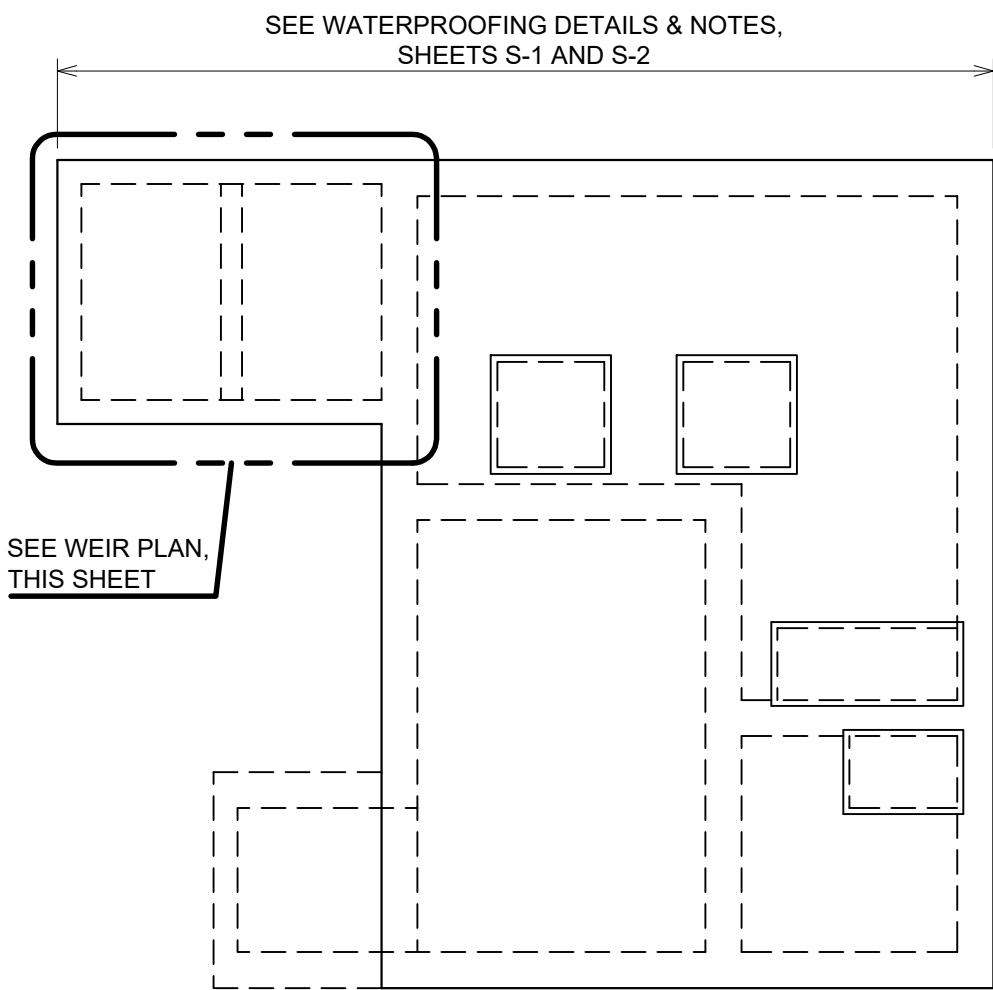
- ALUMINUM SHALL BE ASTM B209, ALLOY 6061-T6.
- ALL WELDING AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING PUBLICATIONS EXCEPT AS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS:
 - AA ADM 1 - ALUMINUM DESIGN MANUAL, LATEST EDITION
 - AMERICAN WELDING SOCIETY (AWS):
 - AWS B5.17 - QUALIFICATION OF WELDING FABRICATORS
 - AWS D1.2 - STRUCTURAL WELDING CODE-ALUMINUM
 - AWS QC 17 - AWS ACCREDITATION OF CERTIFIED WELDING FABRICATORS
- WELDING CERTIFICATION: SUBMIT CERTIFICATION BASED ON AWS B5.17 AND AWS QC 17. QUALIFY PROCEDURES AND PERSONNEL TO THE APPLICABLE AWS CODE. CERTIFY THAT EACH WELDER EMPLOYED ON THE WORK HAS PASSED AWS QUALIFICATION TESTING FOR WELDING PROCESSES INVOLVED WITHIN THE PREVIOUS 12 MONTHS.
- SUBMIT SHOP DRAWINGS FOR REVIEW AND ACCEPTANCE PRIOR TO FABRICATION.
- SHOP WELDED JOINTS SHALL BE COPED AND SMAW.
- PROVIDE CLEAR ANODIZED FINISH TO SHOP FABRICATED RISER PER AA-M10-C22-A31.

NOTE:

REFERENCE DRAWINGS ARE FROM PRIOR CONSTRUCTION DOCUMENT SETS FOR THE PUMP STATION AND ARE INCLUDED IN THIS PROJECT FOR REFERENCE ONLY. ELEVATIONS SHOWN ON THE REFERENCE DRAWINGS ARE BASED ON THE NGVD 29 VERTICAL DATUM. PROPOSED ELEVATIONS FOR THIS CONSTRUCTION PROJECT ARE BASED ON THE NAVD 88 VERTICAL DATUM.

THE NAVD88 AND NGVD 29 VERTICAL DATUMS DIFFER BY 0.531 FEET (I.E. NAVD 88 = NGVD 29 - 0.531 FEET).

NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION ACTIVITIES.



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07-14-2026	ADDENDUM NO. 1	1
06-16-2026	ISSUED FOR BIDS	
06-01-2026	100% OWNER REVIEW	
03-20-2026	ISSUED FOR PART 41 PERMIT	
DATE	ADDITIONS AND/OR REVISIONS	
DESIGNED	NDW	
DRAWN	PMH	
CHECKED	NDW	
APPROVED		

VILLAGE OF GROSSE POINTE SHORES, A MICHIGAN CITY COOK ROAD PUMP STATION WATERPROOFING AND WEIR MODIFICATIONS

WEIR WALL / STOP LOG
DETAILS AND NOTES

HRC JOB NO. 20250315	SCALE AS NOTED
DATE July 2026	SHEET NO. S-3 OF